

PROPOSED

# RESIDENTIAL CARE FACILITY

11-19 Frenchmans Road, Randwick, NSW

## Drawing List

DWG. No.	Drawing Title	Scale	Size
DA00	- Cover Page	NTS	A1
DA01	- Site Plan	1:200	A1
DA02	- Site Analysis	1:200	A1
DA02a	- Site Anayis - Locality Plan	NTS	A1
DA03	- Lower Basement Floor Plan	1:200	A1
DA04	- Basement Floor Plan	1:200	A1
DA05	- Ground Floor Plan	1:200	A1
DA06	- First Floor Plan	1:200	A1
DA07	- Second Floor Plan	1:200	A1
DA08	- Third Floor Plan	1:200	A1
DA09	- Roof Plan	1:200	A1
DA10	- Sections (A,B & C)	1:200	A1
DA11	- Sections (D, E, F & G)	1:200	A1
DA12	- Section H & Elevations (South & West Boundary)	1:200	A1
DA13	- Elevations (North, East, South & West)	1:200	A1
DA14	- Street Elevations Proposed	1:200	A1
DA15	- Street Elevation @ Frenchmans Road - Photomontage	NTS	A1
DA16	- Street Elevation @ McLennan Avenue - Photomontage	NTS	A1
DA17	- Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1
DA17a	- Shadow Diagrams Existing & Proposed (21 June 9am. & 3 pm.)	1:500	A1
DA18	- Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1
DA18a	- 3D Image Showing Built form penetrating 12m Height	NTS	A1
DA19	- Solar Access Diagrams	NTS	A1
DA20	- Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA21	- Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA22	- Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA23	- Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA24	- Demolition Plan	1:200	A1



11-19 Frenchmans Road, Randwick, NSW

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PRELIMINARY DA ISSUE  
30.09.2020

2017 DA00

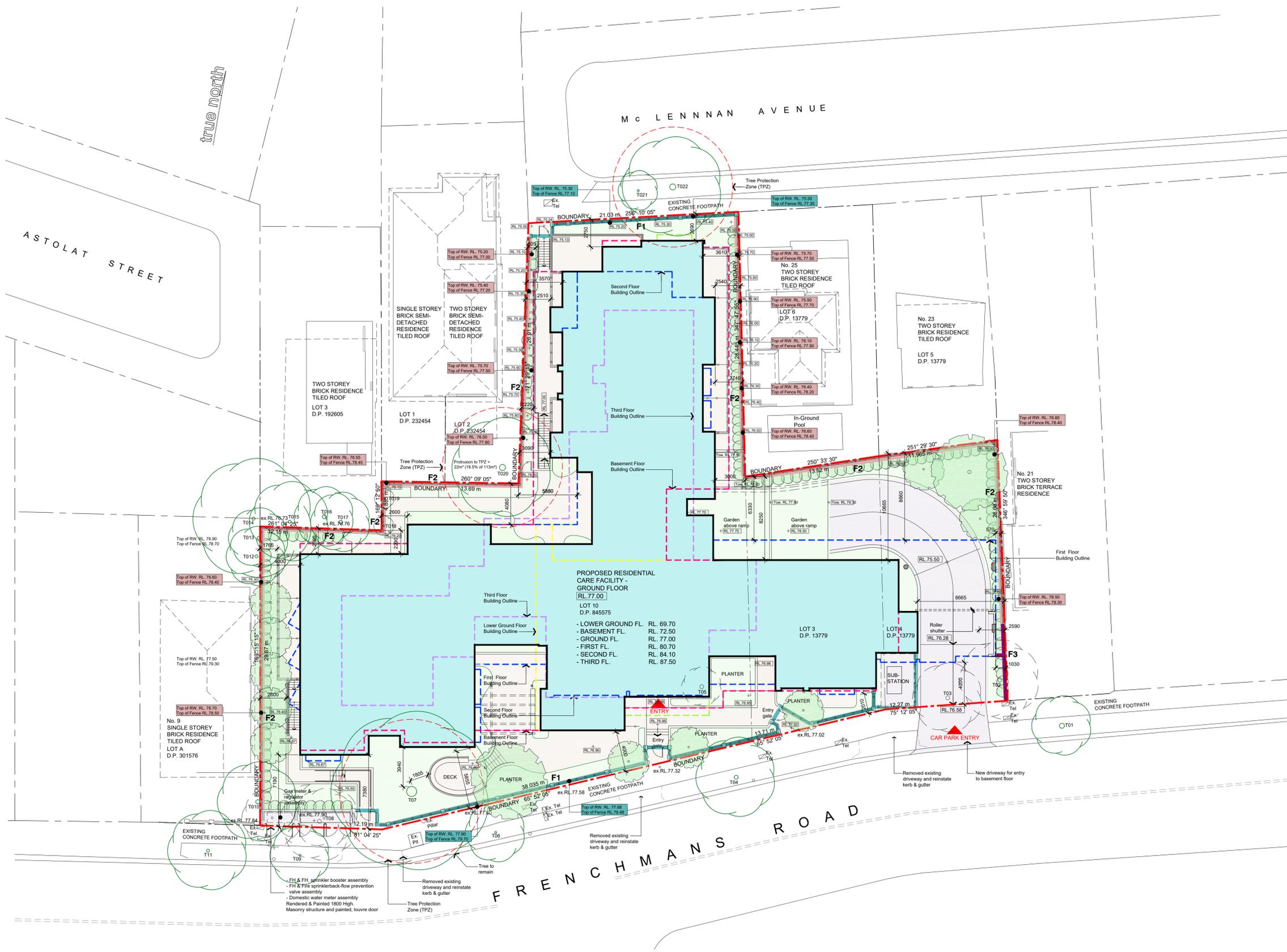
**DEVELOPMENT STATISTIC**

<b>SITE AREA</b>	2,709.7 m <sup>2</sup>		
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)	
LOWER BASEMENT FL.	521.6 m <sup>2</sup>	-	
BASEMENT FL.	1,557.2 m <sup>2</sup>	-	
GROUND FL.	1,340.2 m <sup>2</sup>	905.8 m <sup>2</sup>	
FIRST FL.	1,393.4 m <sup>2</sup>	1,278.9 m <sup>2</sup>	
SECOND FL.	1,338.6 m <sup>2</sup>	1,231.0 m <sup>2</sup>	
THIRD FL.	391.0 m <sup>2</sup>	369.6 m <sup>2</sup>	
<b>TOTAL</b>	<b>6,541.9 m<sup>2</sup></b>	<b>3,785.2 m<sup>2</sup></b>	
FSR	1.397 : 1		
CARPARKING / AMBULANCE	19+1= 20 spaces		
LANDSCAPE AREA	1,130.3 m <sup>2</sup>		
LANDSCAPE AREA PER BED	13.14 m <sup>2</sup>		
<b>RESIDENT ACCOMMODATION</b>			
	1 BED	2 BED	TOTAL
GROUND FL.	17	0	17
FIRST FL.	24	4 x 2	32
SECOND FL.	22	4 x 2	30
THIRD FL.	7	0	7
<b>TOTAL NUMBER OF THIRD FL. ILUs</b>	<b>= 2</b>		
<b>TOTAL NUMBER OF BEDS</b>	<b>= 86</b>		
<b>TOTAL NUMBER OF ROOMS</b>	<b>78 + 2 = 80</b>		

**LEGEND**

	PROPOSED RCF
	BOUNDARY
	SOFT LANDSCAPE
	HARD LANDSCAPE
	FENCE TYPE 1
	FENCE TYPE 2
	+ ex RL 76.80 EXISTING LEVEL RL.
	+ [RL 76.80] NEW FINISHED LEVEL RL.
	+ [TOW RL.] PROPOSED TOP OF WALL LEVEL
	LOWER GROUND FLOOR
	BASEMENT FLOOR
	FIRST FLOOR
	SECOND FLOOR
	THIRD FLOOR
	PROPOSED ROADS AND DRIVEWAYS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE REMOVED
<b>F1</b>	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE
<b>F2</b>	1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE
<b>F3</b>	1800H COLORBOND STEEL FENCING + EXISTING FENCE

**NOTE:**  
- ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND Mc LENNAN AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT



5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	11.08.2020
1	Development application issue	19.12.19
No.	Amendment	Date

Project  
**SUMMIT CARE**  
11-19 Frenchmans Road, Randwick

Drawing  
**SITE PLAN**

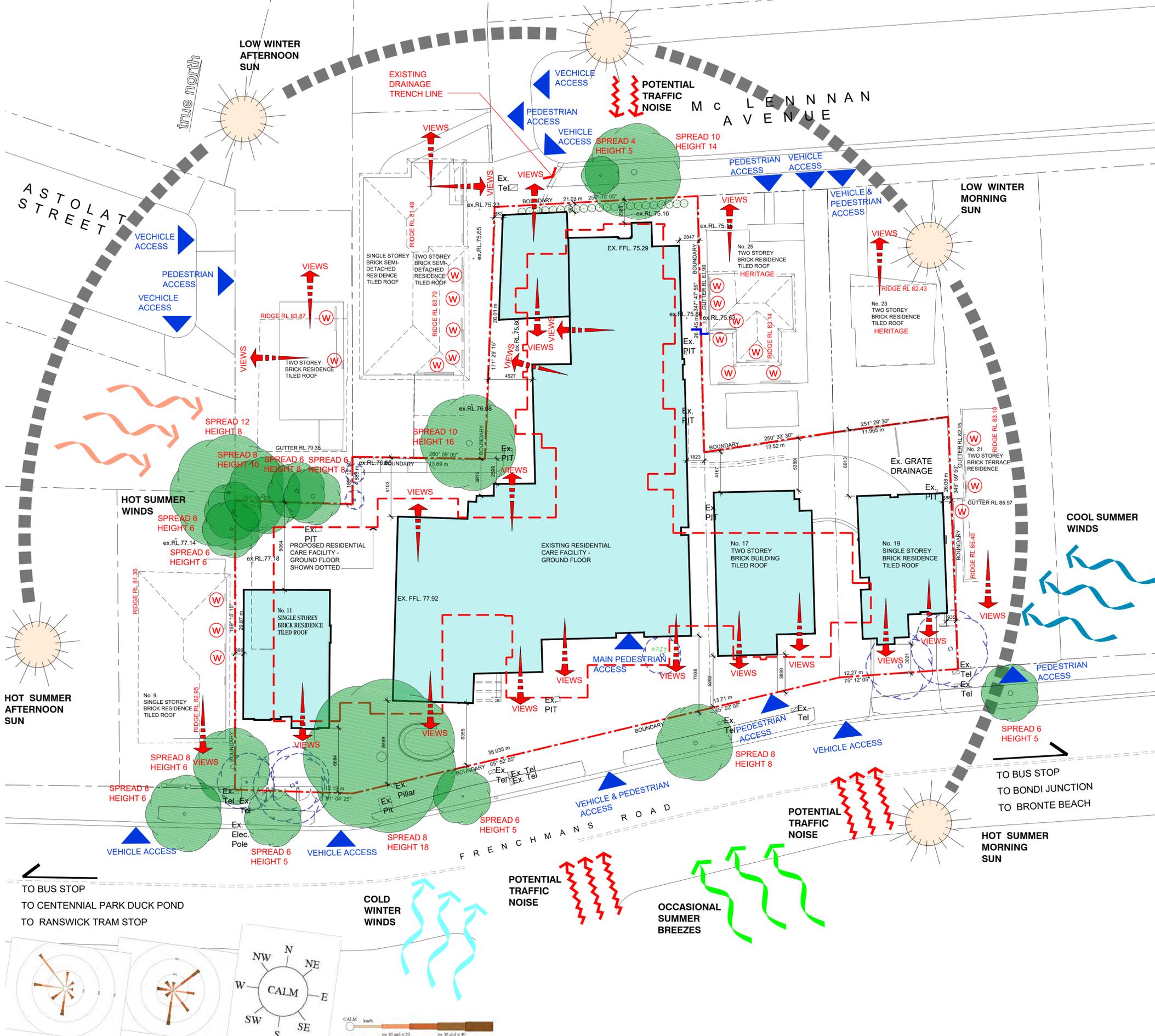


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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS	1912/	DA01
Amendment	5		



**LOCALITY PLAN**  
NOT TO SCALE

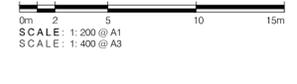
SEPP PART 3 - DESIGN REQUIREMENTS	REFER TO
Division 1 General	
39. Site analysis	
1. A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied that the applicant has taken into account a site analysis prepared by the applicant in accordance with this clause.	This drawing
2. A site analysis must:	
A. Contain information about the site and its surrounds as described in subclasses (3) and (4), and	Please refer below
B. Be accompanied by a written statement (supported by plans including drawings of sections and elevations and, in the case of proposed development on land adjoining land zoned primarily for urban purposes, an aerial photograph of the site):	Design Statement
i. Explaining how the design of the proposed development has regard to the site analysis, and	Design Statement
ii. Explaining how the design of the proposed development has regard to the design principles set out in Division 2.	Design Statement
3. The following information about a site is to be identified in a site analysis:	
A. Site dimensions:	
• Length	Survey Plans
• Width	Survey Plans
B. Topography:	
• spot levels and/or contour	Survey Plans
• north point	All Plans
• natural drainage	Civil Drawings
• any contaminated soils or filled areas	Site Investigation Report
C. Services:	
• easements	N/A
• connections for drainage and utility services	Civil Drawings
D. Existing vegetation:	
• location	Survey Plans
• height	Survey Plans
• spread of established trees	Survey Plans
• species	Arboreal Report
E. Micro climates:	
• orientation	This drawing
• prevailing winds	This drawing
F. Location of:	
• buildings and other structures	This drawing and DA01 - Site Plan
• heritage features and items including archaeology	This drawing, DA01 - Site Plan & DA05 - Ground Floor Plan
• fences	All plans
• pedestrian and vehicle access	This drawing
G. Views to and from the site	DA15 / DA16 - Street elevation & Perspectives DA17/DA18 - Shadow Diagrams
H. Overshadowing by neighbouring structures	
4. The following information about the surrounds of a site is to be identified in a site analysis:	
A. Neighbouring buildings:	
• location	Survey Plans
• height	Survey Plans
• use	Survey Plans
• balconies on adjacent properties	Survey Plans
• pedestrian and vehicle access to adjacent properties	Survey Plans
B. Privacy:	
• adjoining private open spaces	Survey Plans
• living room windows overlooking site	Survey Plans
• location of any facing doors and/or windows	Survey Plans
C. Walls built to the site's boundary:	
• location	DA01 - Site Plan
• height	DA01 - Site Plan
• materials	DA01 - Site Plan
D. Difference in levels between the site and adjacent properties at their boundaries	Survey Plans
E. Views and solar access enjoyed by neighbouring properties	This drawing
F. Major trees on adjacent properties	Survey Plans
G. Street frontage features:	
• poles	Survey Plans
• trees	Survey Plans
• kerb crossovers	Survey Plans
• bus stops	Survey Plans
• other services	Survey Plans
H. The built form and character of adjacent development (including buildings opposite on both sides of the street(s) fronted):	
• architectural character	All plans This drawing, DA01 - Site Plan, DA05 - Ground Floor Plan & DA14 - Street Elevations Proposed
• front fencing	Landscaping
• garden styles	Landscaping
I. Heritage features of surrounding locality and landscape:	Heritage Report DA02a - Site Analysis Locality Plan
J. Direction and distance to local facilities:	DA02a - Site Analysis Locality Plan
• local shops	DA02a - Site Analysis Locality Plan
• schools	DA02a - Site Analysis Locality Plan
• public transport	Traffic Report DA02a - Site Analysis Locality Plan
• recreation and community facilities	DA02a - Site Analysis Locality Plan
K. Public open space:	
• location	DA02a - Site Analysis Locality Plan
• use	DA02a - Site Analysis Locality Plan
L. Adjoining bushland or environmentally sensitive land	N/A
M. Sources of nuisance:	
• flight paths	DA02a - Site Analysis Locality Plan
• noisy roads or significant noise sources	This drawing, DA02a - Site Analysis Locality Plan
• polluting operations	N/A

**LEGEND**

- OUTLINE OF EXISTING SUMMITCARE BUILDING G/F
- OUTLINE OF PROPOSED SUMMITCARE BUILDING G/F
- BOUNDARY
- VEHICLE ACCESS
- PEDESTRIAN OR VEHICLE ACCESS
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE DEMOLISHED
- PROPOSE 1800H FENCE AND LANDSCAPE SCREENING FOR PRIVACY SCREENING REFER TO LANDSCAPE DOCUMENTS FOR DETAIL
- OCCASIONAL SUMMER BREEZES
- COOL SUMMER WINDS
- HOT SUMMER WINDS
- COLD WINTER WINDS
- TRAFFIC NOISE
- WINDOW OF NEIGHBOURING BUILDINGS

**NOTES:**

- REFER TO SURVEY DWGS FOR NEIGHBOURING PROPERTIES' WINDOWS AND DOORS' SILL AND HEAD HEIGHTS.
- PLANT SPECIES REFER TO ARBORIST REPORT
- REFER TO DA01 - SITE PLAN FOR FENCING TYPES, RETAINING WALLS LOCATION, HEIGHT AND DETAILS



No.	Amendment	Date
5	Preliminary DA Issue	30.09.2020
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1	Development application issue	19.12.19

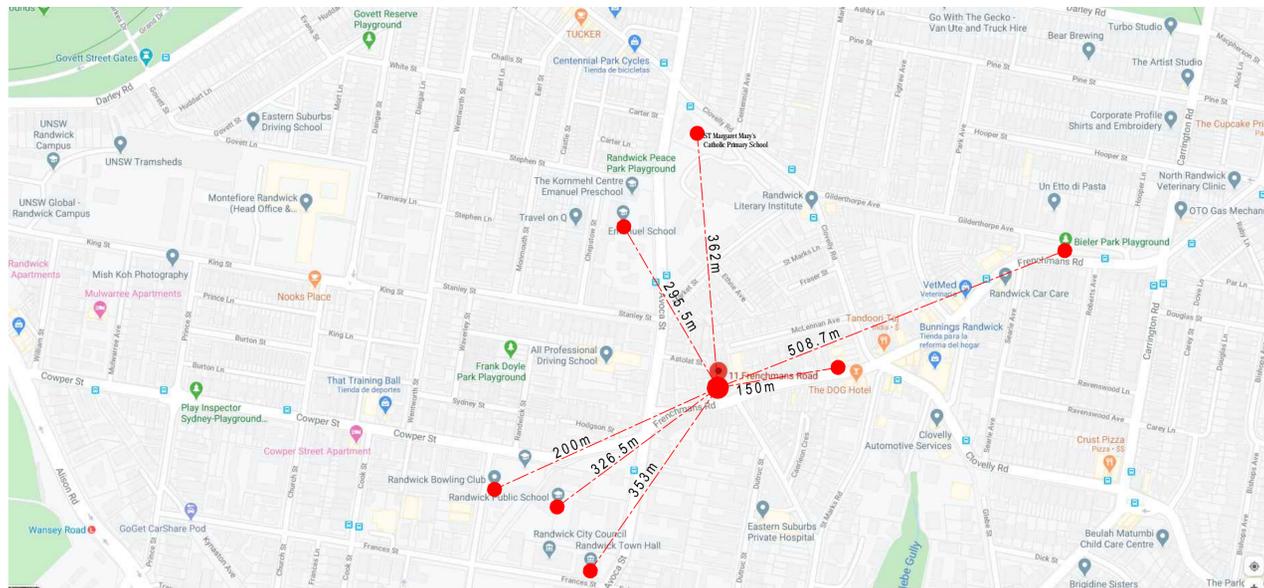
Project  
**SUMMIT CARE**  
11-19 Frenchmans Road, Randwick

Drawing  
**SITE ANALYSIS**

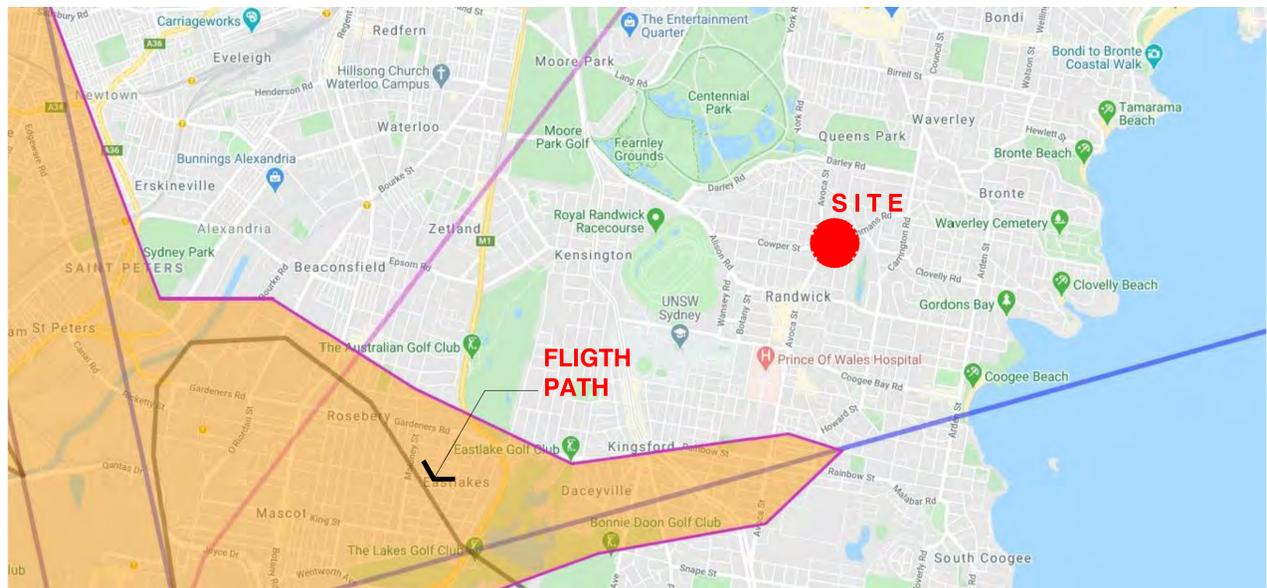
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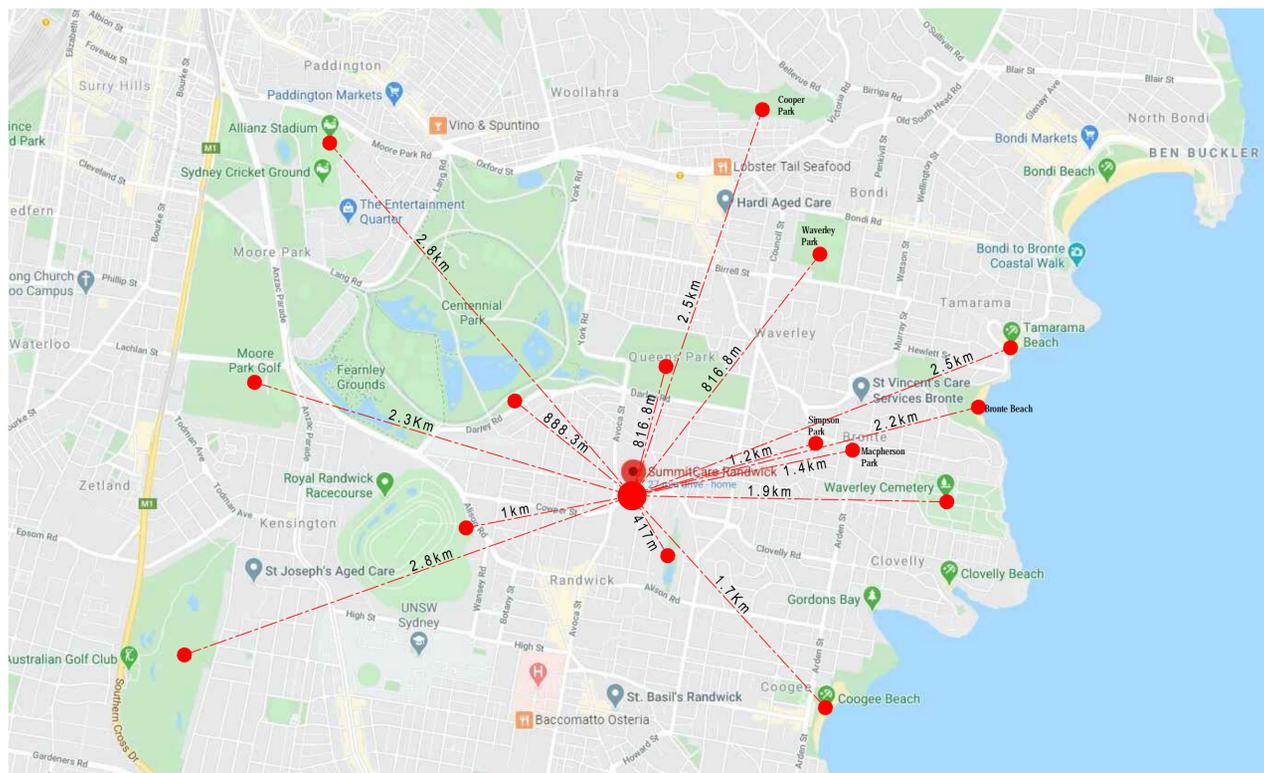
Date: JULY 2019 Job No.: Drawing  
Scale: AS SHOWN  
Drawn: SS  
Amendment: 5



**DIRECTIONS & DISTANCES TO LOCAL FACILITY PLAN**



**FLIGHT PATH PLAN**



**PUBLIC OPEN SPACE PLAN**



**LOCATION PLAN**

3	Preliminary DA Issue	30.09.2020
2	Development Application Issue	07.09.2020
1	Development Application Issue for review	14.08.2020
No.	Amendment	Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick  
 Drawing  
**SITE ANALYSIS - LOCALITY PLAN**



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	Date	JULY 2019	Job No.	: Drawing
	Scale	AS SHOWN		
	Drawn	SS		1912/ DA02a
	Amendment	3		

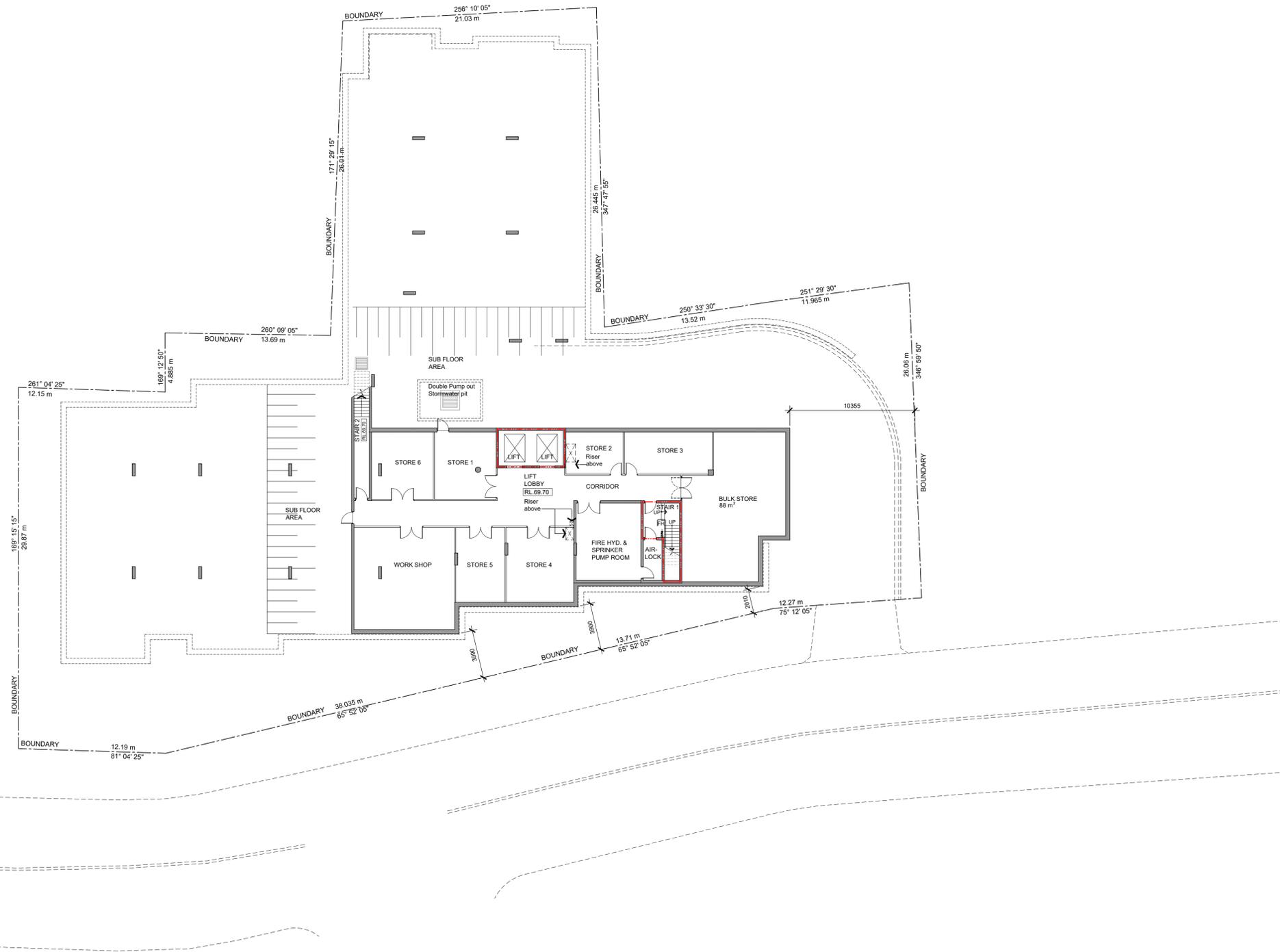
LEGEND	
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

ACOUSTIC REQUIREMENTS	
	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

**NCC 2019 - SECTION J REQUIREMENTS**

Envelope Construction	Total System R-Value (m <sup>2</sup> K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



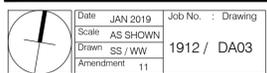
11	Preliminary DA Issue	30.09.2020
10	Development Application Issue	07.09.2020
9	Development Application Issue for review	14.08.2020
8	Development Application Issue for review	11.08.2020
7	Preliminary Issue discussion	27.07.2020
6	Preliminary Issue for coordination	08.07.2020
5	Preliminary Issue for review & comment	06.07.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick  
 Drawing  
**LOWER BASEMENT FLOOR PLAN**



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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		1912 / DA03
Amendment	11		



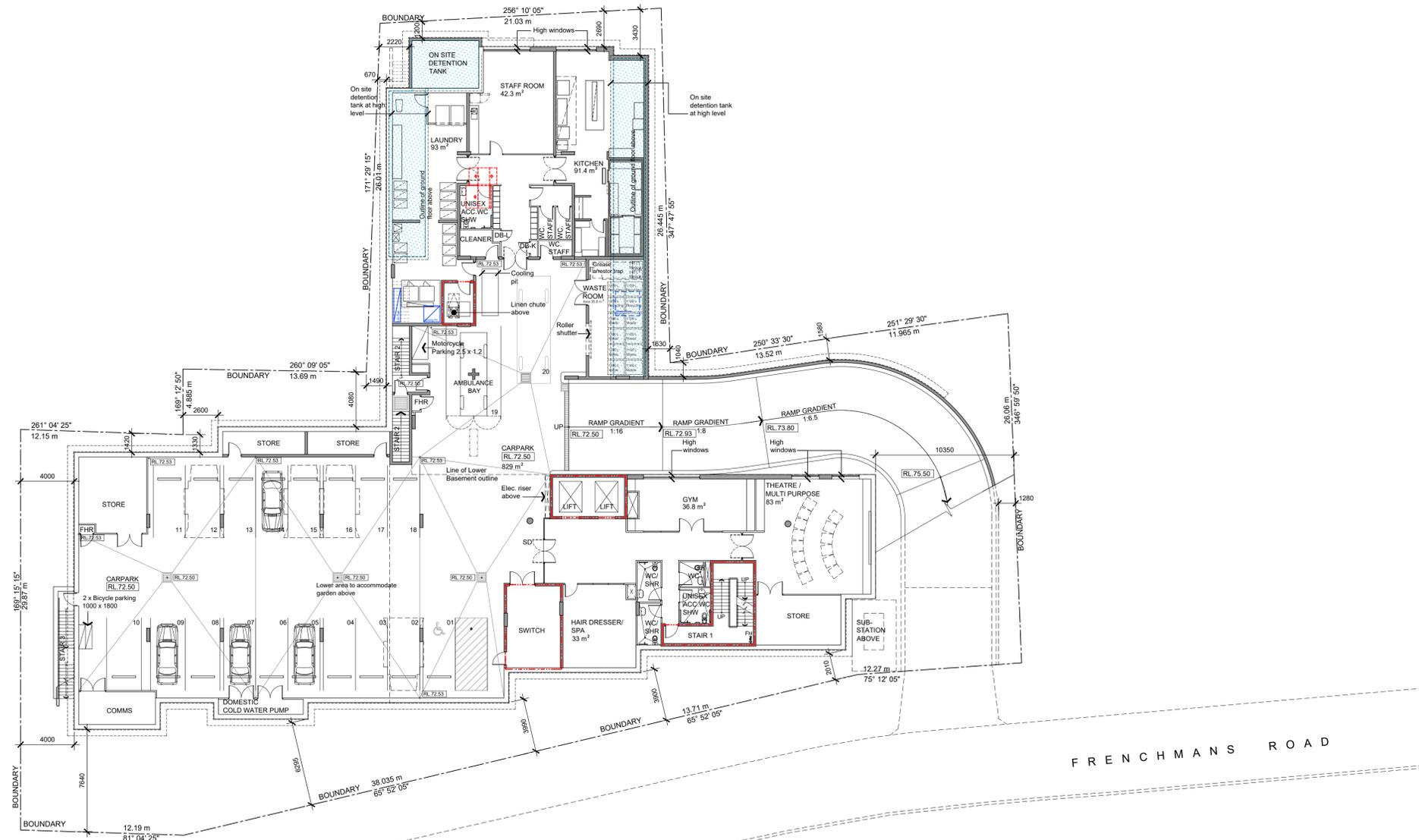
LEGEND	
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

ACOUSTIC REQUIREMENTS	
	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

NCC 2019 - SECTION J REQUIREMENTS			
Envelope Construction		Total System R-Value (m <sup>2</sup> K/W)	
J1.3	Roof and ceiling construction	≥ 3.70	
J1.4	Roof lights	N/A	
J1.5a	Total System external wall construction (all facades)	≥ 2.39	
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00	
J1.6b	Floor construction (concrete slab on ground)	No insulation required	

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



13	Preliminary DA Issue	30.09.2020
12	Development Application Issue	07.09.2020
11	Development Application Issue for review	14.08.2020
10	Development Application Issue for review	13.08.2020
9	Development Application Issue for review	11.08.2020
8	Preliminary Issue discussion	27.07.2020
7	Preliminary Issue for coordination	08.07.2020
6	Preliminary Issue for review & comment	06.07.2020
5	building outline modified following changes on the upper level	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick  
 Drawing  
**BASEMENT FLOOR PLAN**



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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS / WW		2017 / DA04
Amendment	13		

FRENCHMANS ROAD

FRENCHMANS ROAD

LEGEND	
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

ACOUSTIC REQUIREMENTS	
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**NCC 2019 - SECTION J REQUIREMENTS**

Envelope Construction	Total System R-Value (m <sup>2</sup> K/W)
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J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



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11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick  
 Drawing  
**GROUND FLOOR PLAN**

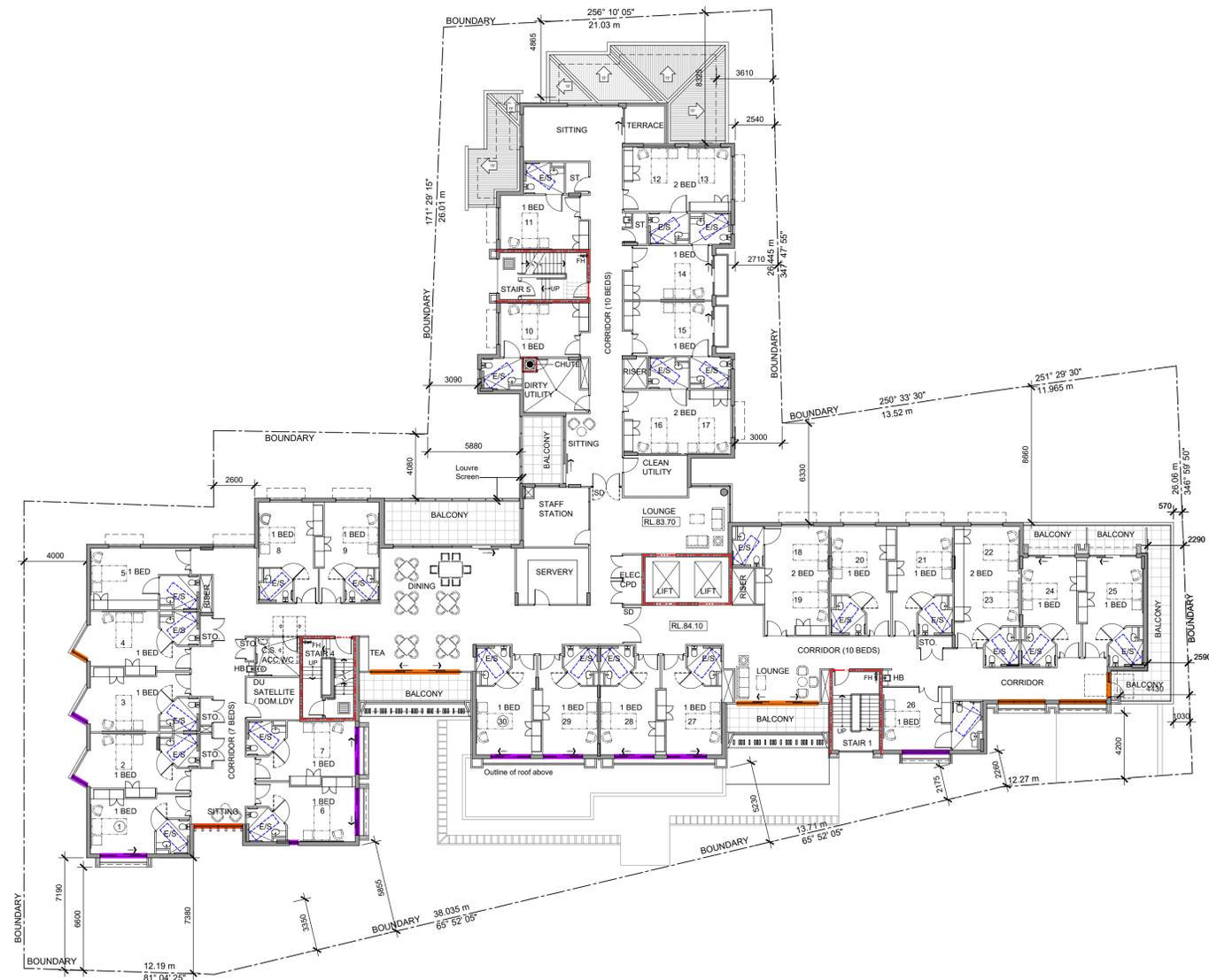


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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA05
Amendment	14		







**LEGEND**

---	BOUNDARY
▬	MASONRY WALL
▬	STUD WALL
---	OUTLINE OF WALL ABOVE / BELOW
---	ROOF OUTLINE
---	NEW FENCE
+ ex.RL.00.00	EXISTING LEVELS
[RL.00.00]	PROPOSED LEVELS
⌋	PROPOSED DOOR
⌋	PROPOSED WINDOW
□	MOBILE BATH
⊙	CEILING FAN
⊙	ELEVATION TAG
⊙	SECTION / ELEVATION TAG

**ACOUSTIC REQUIREMENTS**

▬	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
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**NCC 2019 - SECTION J REQUIREMENTS**

Envelope Construction	Total System R-Value (m <sup>2</sup> K/W)
J1.3 Roof and ceiling construction	≥ 3.70
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J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29

14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree, Northern wing pulled back from boundary, Dwelling units to eastern wing converted to 8 bedrooms (10 beds)	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
3	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick  
 Drawing  
**SECOND FLOOR PLAN**



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**br**  
 100

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Date	JAN 2019	Job No.	: Drawing
Scale	1:200@A1		
Drawn	SS		2017 / DA07
Amendment	14		





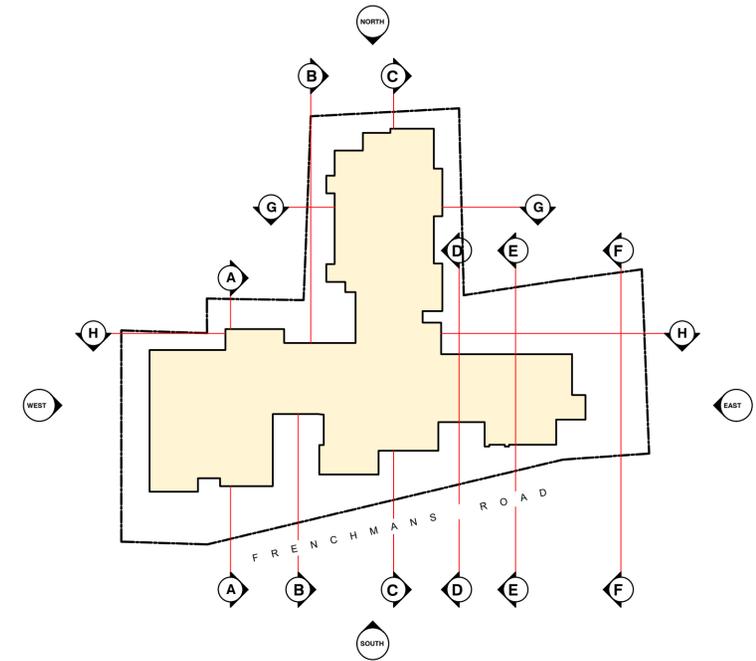
LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



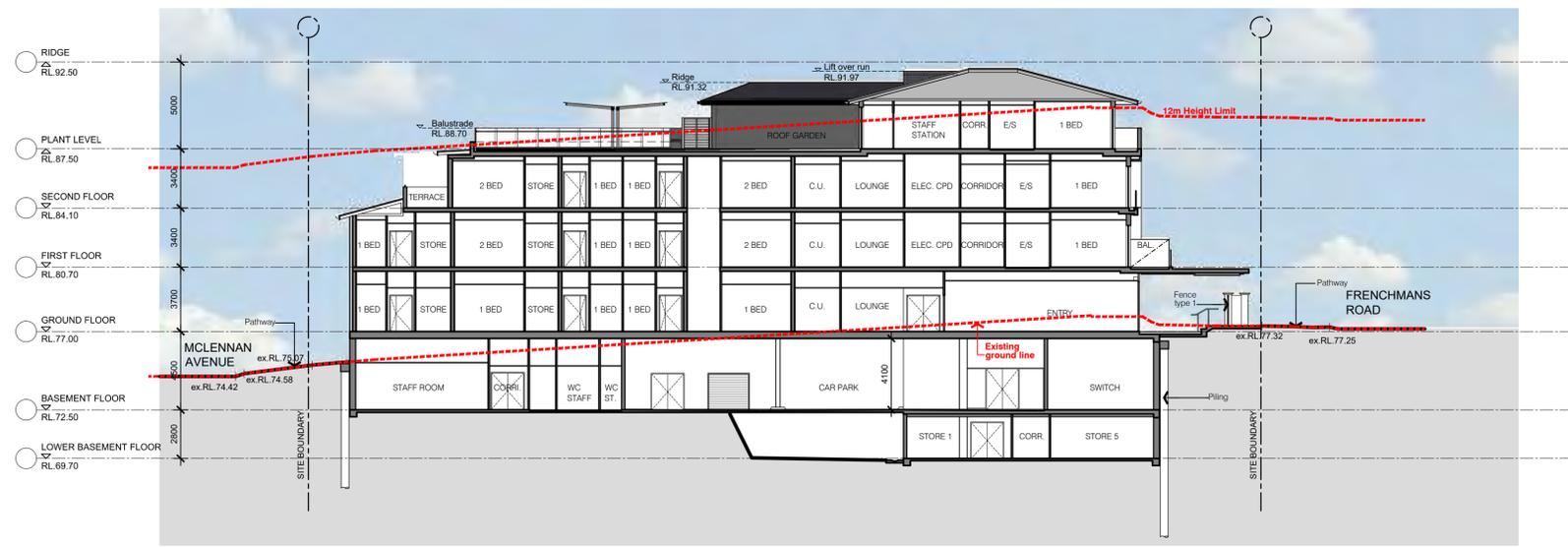
01 Section A  
Scale 1:200



KEY PLAN



02 Section B  
Scale 1:200



03 Section C  
Scale 1:200

7	Preliminary DA Issue	30.09.2020
6	Development Application Issue	07.09.2020
5	Development Application Issue for review	14.08.2020
4	Development Application Issue for review	11.08.2020
3	Development Application Issue	19.12.19
2	Preliminary Issue	19.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

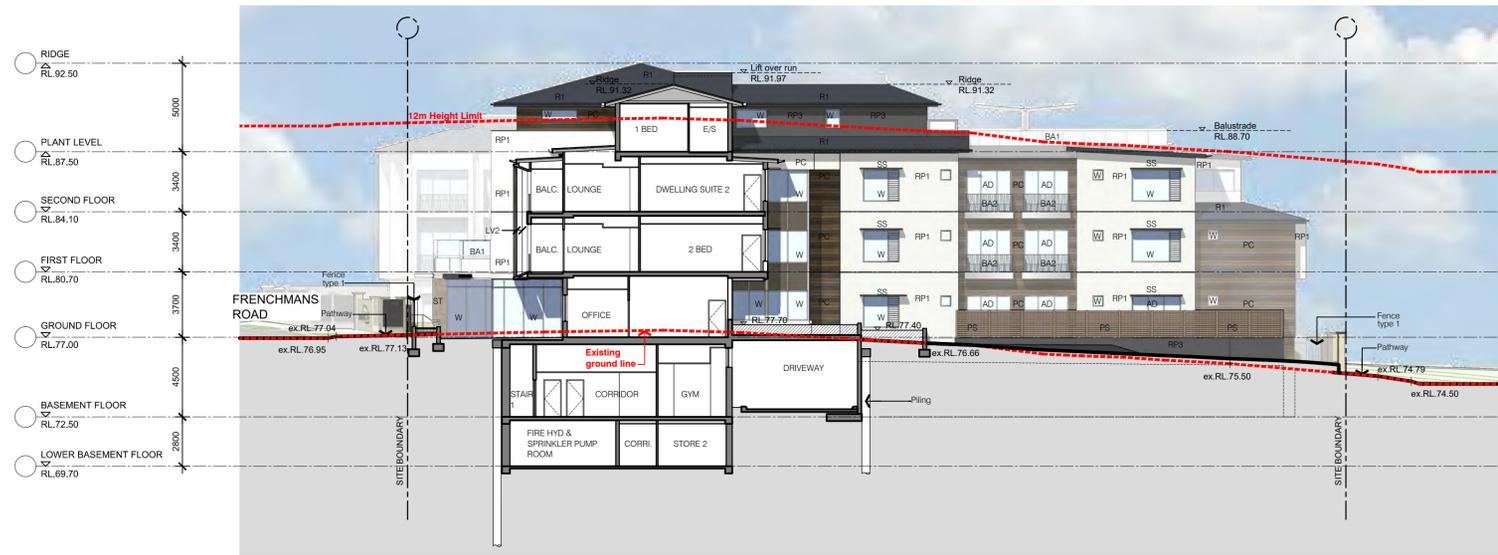
Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK  
 Drawing  
 SECTIONS (A, B & C)



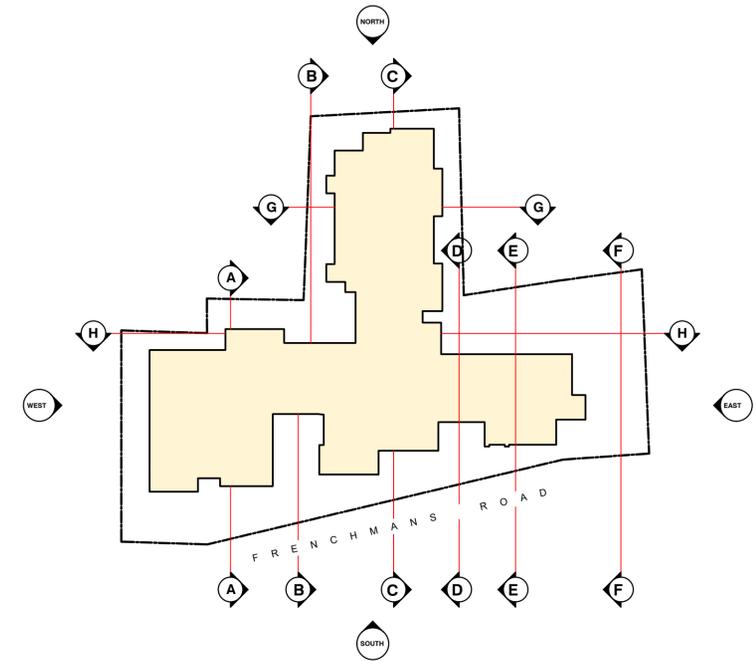
**boffa robertson group**  
 architecture, health and aged care planning, project management  
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 Chateau NSW 2007  
 AUSTRALIA  
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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA10
Amendment	7		



04 Section D  
Scale 1:200

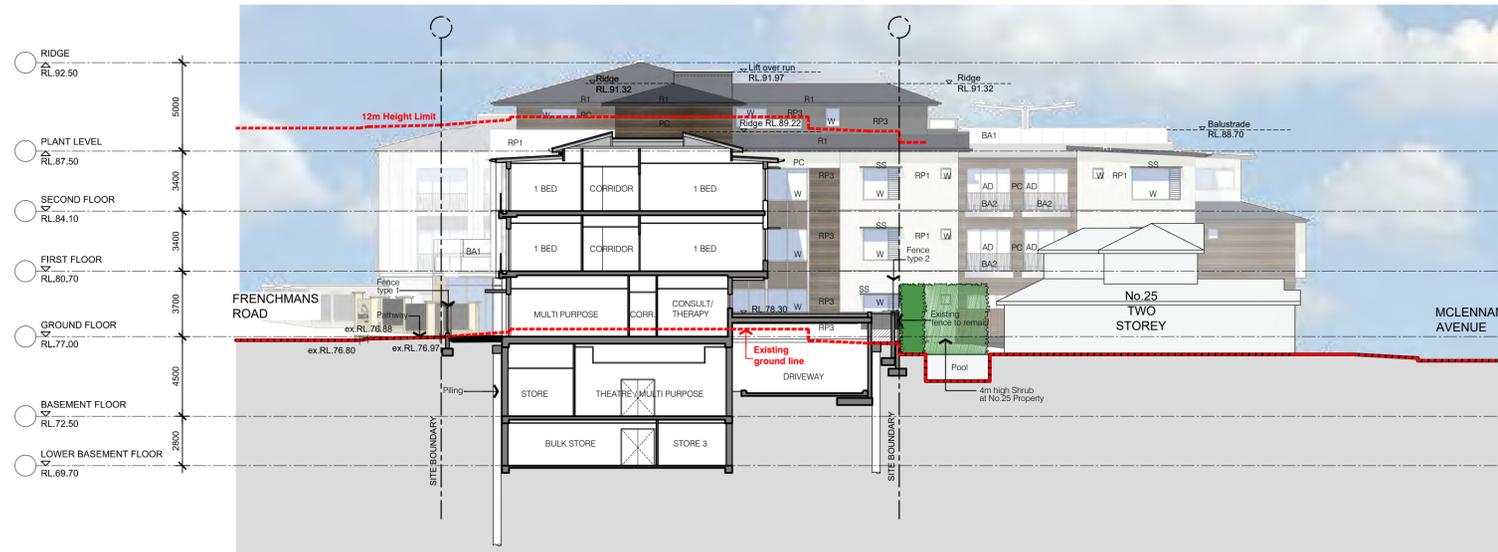


KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



05 Section E  
Scale 1:200



06 Section F  
Scale 1:200



07 Section G  
Scale 1:200



7	Preliminary DA Issue	30.09.2020
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4	Development Application Issue for review	11.08.2020
3	Development Application Issue	19.12.19
2	Preliminary Issue	19.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (D, E, F & G)

**SUMMITCARE**  
WALTHAM WORTH WELLBEING

**boffa robertson group**  
architecture, health and aged care planning, project management

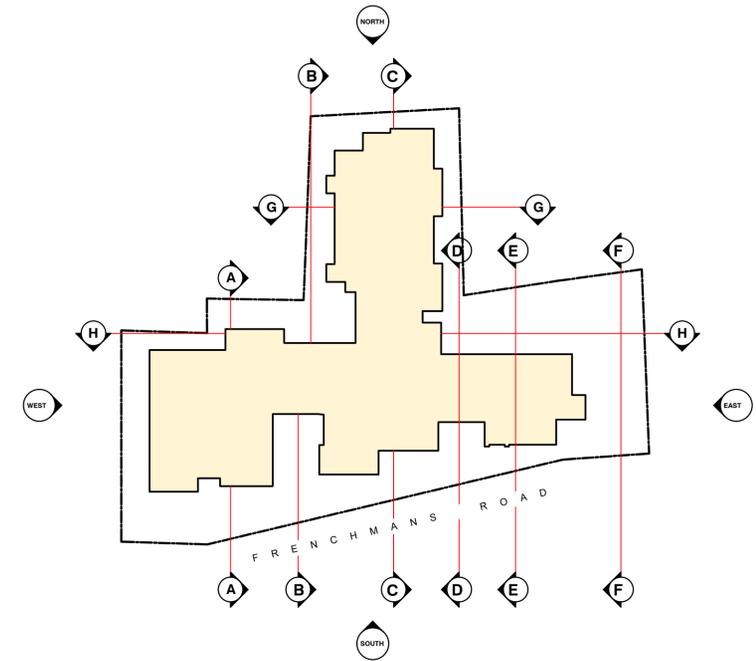
**br**  
iqg

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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA11
Amendment	7		



08 Section H  
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



09 South Boundary Elevation  
Scale 1:200



10 West Boundary Elevation  
Scale 1:200

6	Preliminary DA Issue	30.09.2020
5	Development Application Issue	07.09.2020
4	Development Application Issue for review	14.08.2020
3	Development Application Issue for review	11.08.2020
2	Development Application Issue	19.12.19
1	Preliminary Issue	19.11.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
**SECTION H & ELEVATIONS**  
(South & West Boundary)



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**br**  
**iqg**

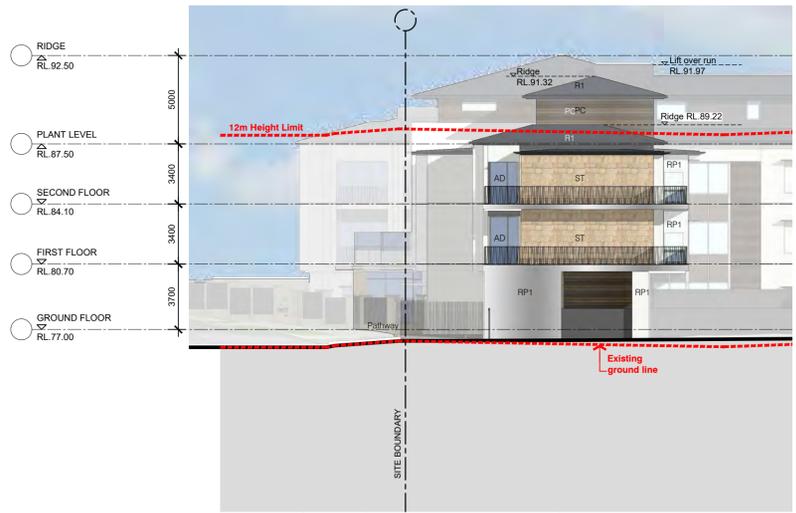
Suite 7, Level 1 Epica, 9 Railway Street  
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AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7099  
Email: brgroup@brgr.net



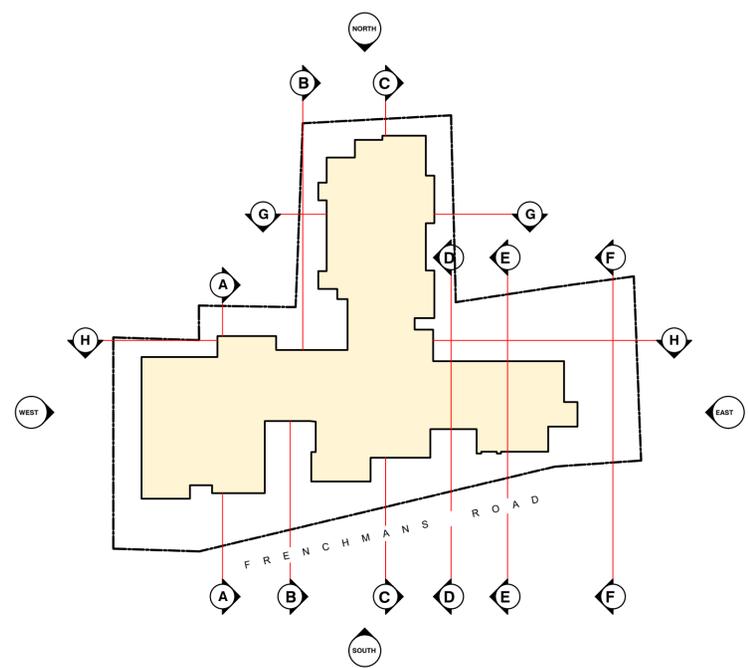
Date	NOV 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA12
Amendment	6		



11 NORTH ELEVATION  
Scale 1:200



12 EAST ELEVATION  
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



13 SOUTH ELEVATION  
Scale 1:200



14 WESTELEVATION  
Scale 1:200

8	Preliminary DA Issue	30.09.2020
7	Development Application Issue	07.09.2020
6	Development Application Issue for review	14.08.2020
5	Development Application Issue for review	10.08.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	19.11.19
2	Preliminary Issue	18.09.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
ELEVATIONS (North, East, South & West)



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0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	WW		1912/ DA13
Amendment	g		



01 SOUTH STREET ELEVATION  
Scale 1:500

0m 5 10 25m  
SCALE: 1:500 @ A1  
SCALE: 1:1000 @ A3



02 SOUTH STREET ELEVATION - PART 1  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



03 SOUTH STREET ELEVATION - PART 2  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



04 NORTH STREET ELEVATION  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	12.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATIONS PROPOSED



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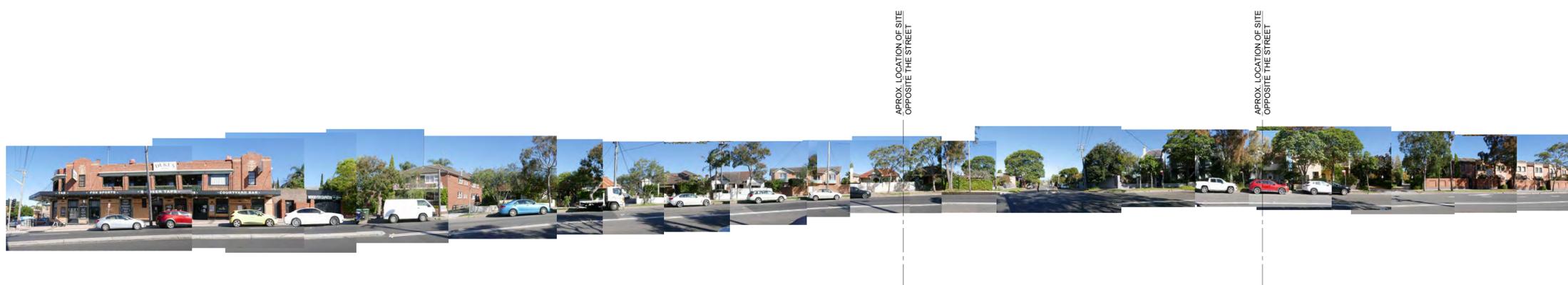
Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	AL		1912/ DA14
Amendment	5		



01 Frenchmans Road Street Elevation  
Proposed



02 Frenchmans Road Street Elevation  
Existing



03 Opposite side of Frenchmans Road Street Elevation  
Existing

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK  
 Drawing  
**STREET ELEVATION @  
 FRENCHMANS ROAD-PHOTOMONTAGE**

**SUMMITCARE**  
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Date	JULY 2019	Job No.	: Drawing
Scale	NTS @ A1		
Drawn	VI		2017 / DA15
Amendment	4		



01 McLennan Avenue Street Elevation  
Proposed



02 McLennan Avenue Street Elevation  
Existing



03 View from Chapel Street  
Proposed



04 View from Chapel Street  
Existing

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
**STREET ELEVATION @**  
**MCLENNAN AVENUE -PHOTOMONTAGE**

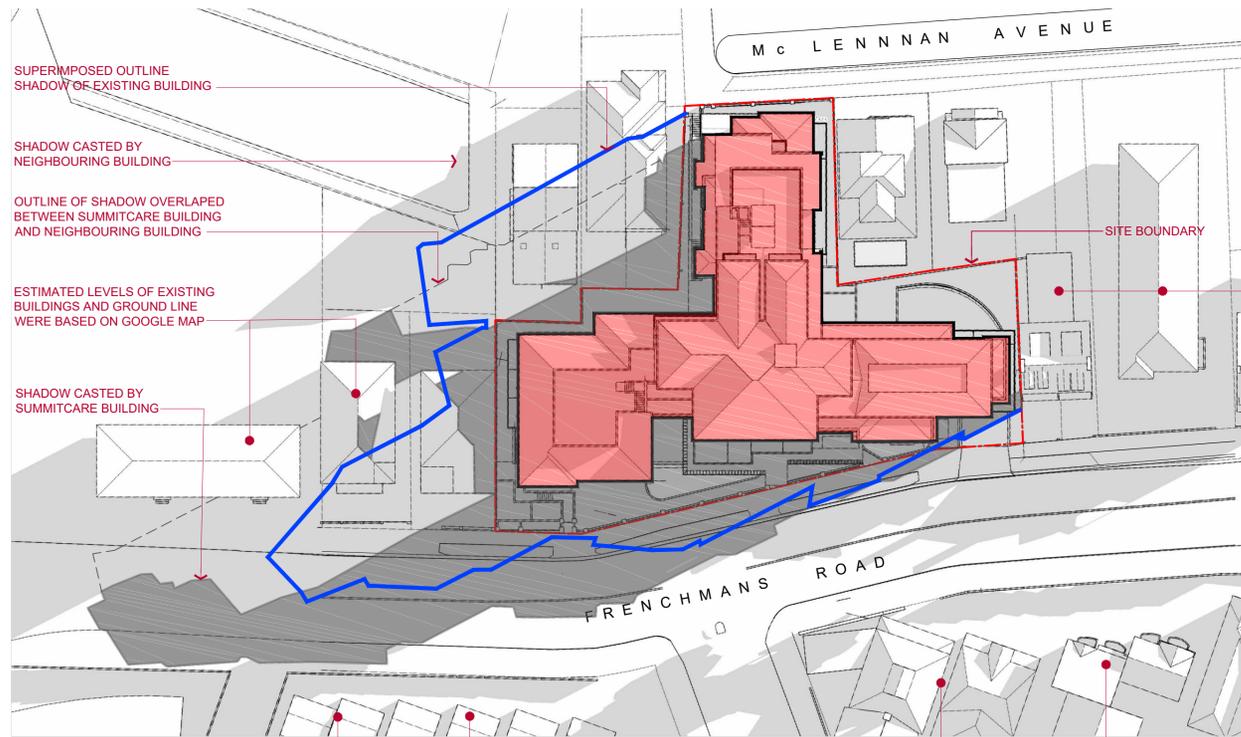


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**obr**  
**iqg**

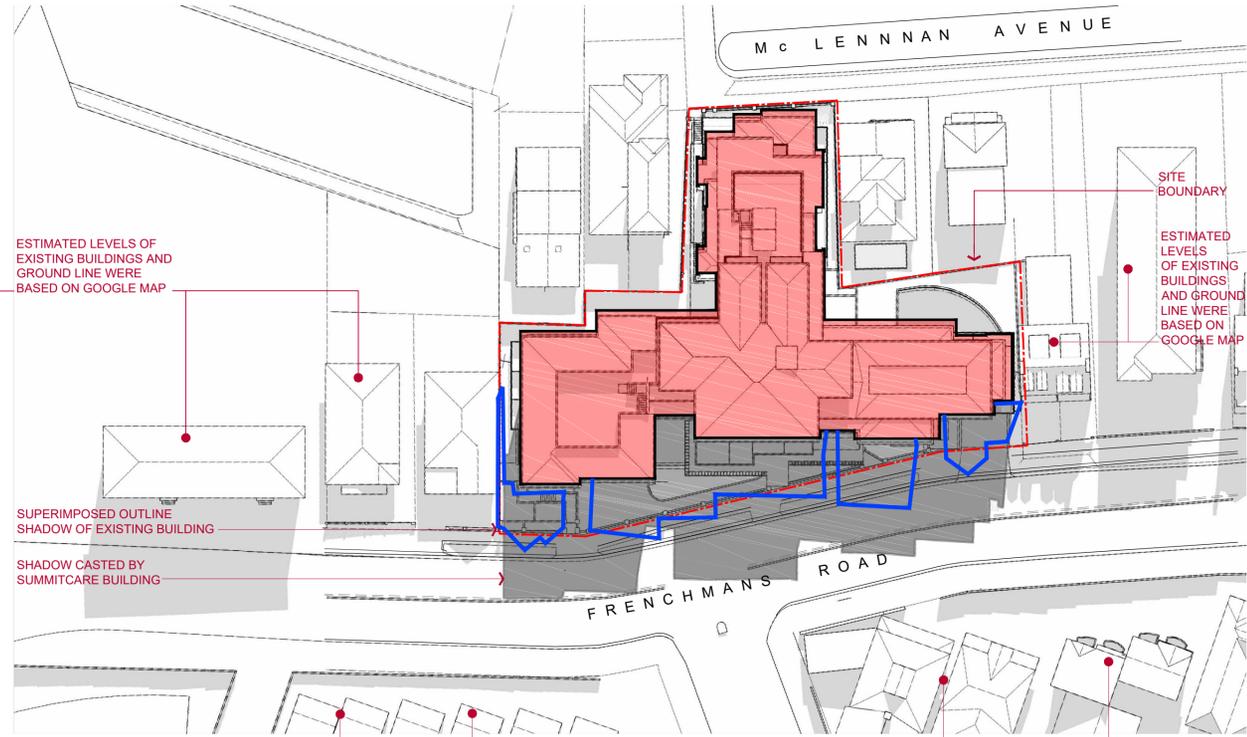
Suite 7, Level 1 Epica, 9 Railway Street  
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 Tel: (02) 9406 7000  
 Fax: (02) 9406 7099  
 Email: brgroup@brgr.net

Date	JULY 2019	Job No. :	Drawing
Scale	NTS @ A1		
Drawn	VI	2017 /	DA16
Amendment	4		



21 JUNE 8AM  
PROPOSED

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP



21 JUNE 12PM  
PROPOSED

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 8AM  
EXISTING

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP



21 JUNE 12PM  
EXISTING

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP

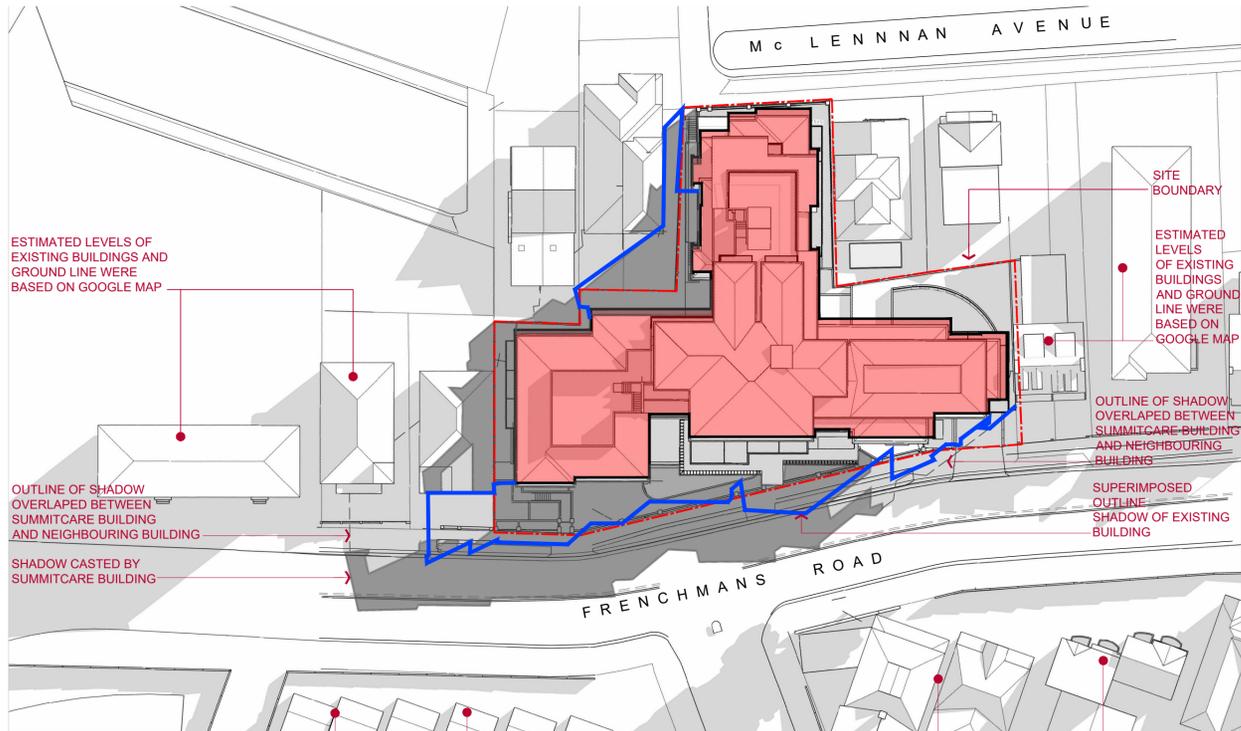


4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK  
 Drawing  
**SHADOW DIAGRAMS**  
 Existing & Proposed- 21June 8am & 12pm

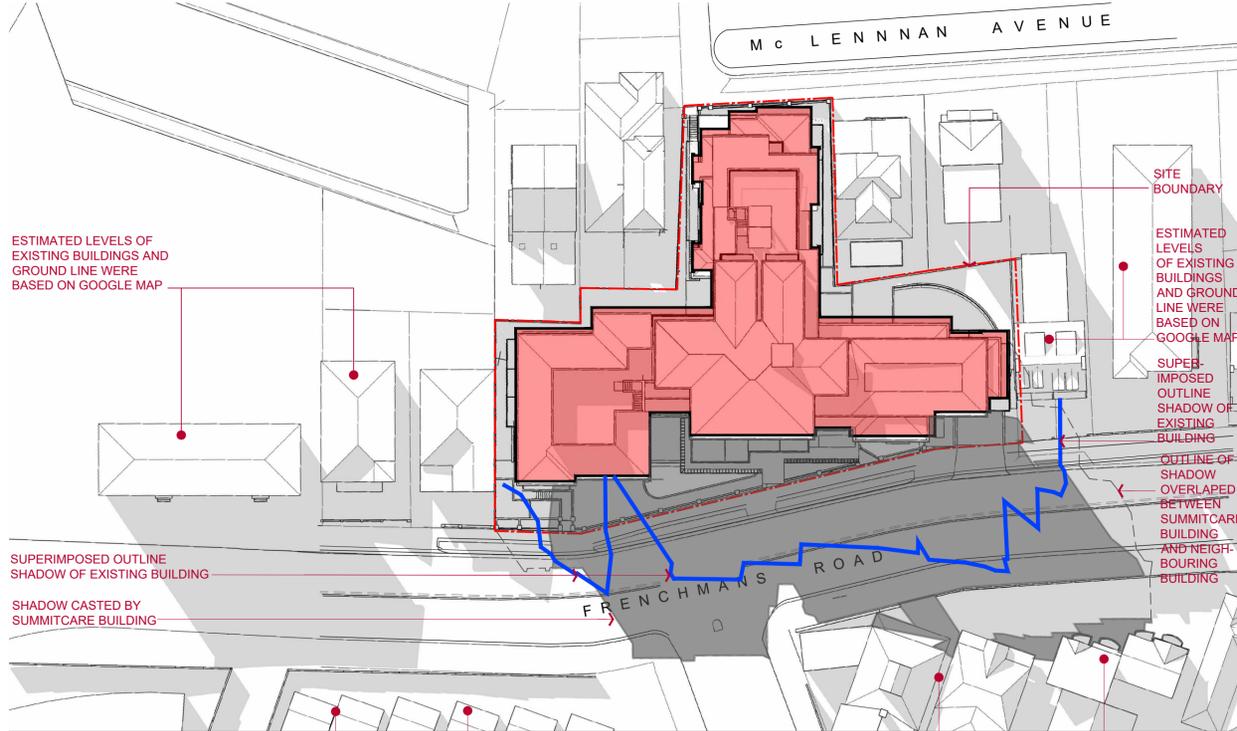
**SUMMITCARE**  
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Date	JAN 2019	Job No.	Drawing
Scale	1: 500		1912/ DA17
Drawn	VI		
Amendment	4		



21 JUNE 9AM  
PROPOSED

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP



21 JUNE 3PM  
PROPOSED

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 9AM  
EXISTING

ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP



21 JUNE 3PM  
EXISTING

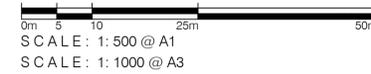
ESTIMATED LEVELS OF EXISTING BUILDINGS AND GROUND LINE WERE BASED ON GOOGLE MAP

1	Preliminary DA Issue	30.10.20
No.	Amendment	Date
Project		
FRENCHMANS LODGE		
11-15, 17 & 19 Frenchmans Road, RANDWICK		
Drawing		
SHADOW DIAGRAMS		
Existing & Proposed- 21 June 9am & 3pm		

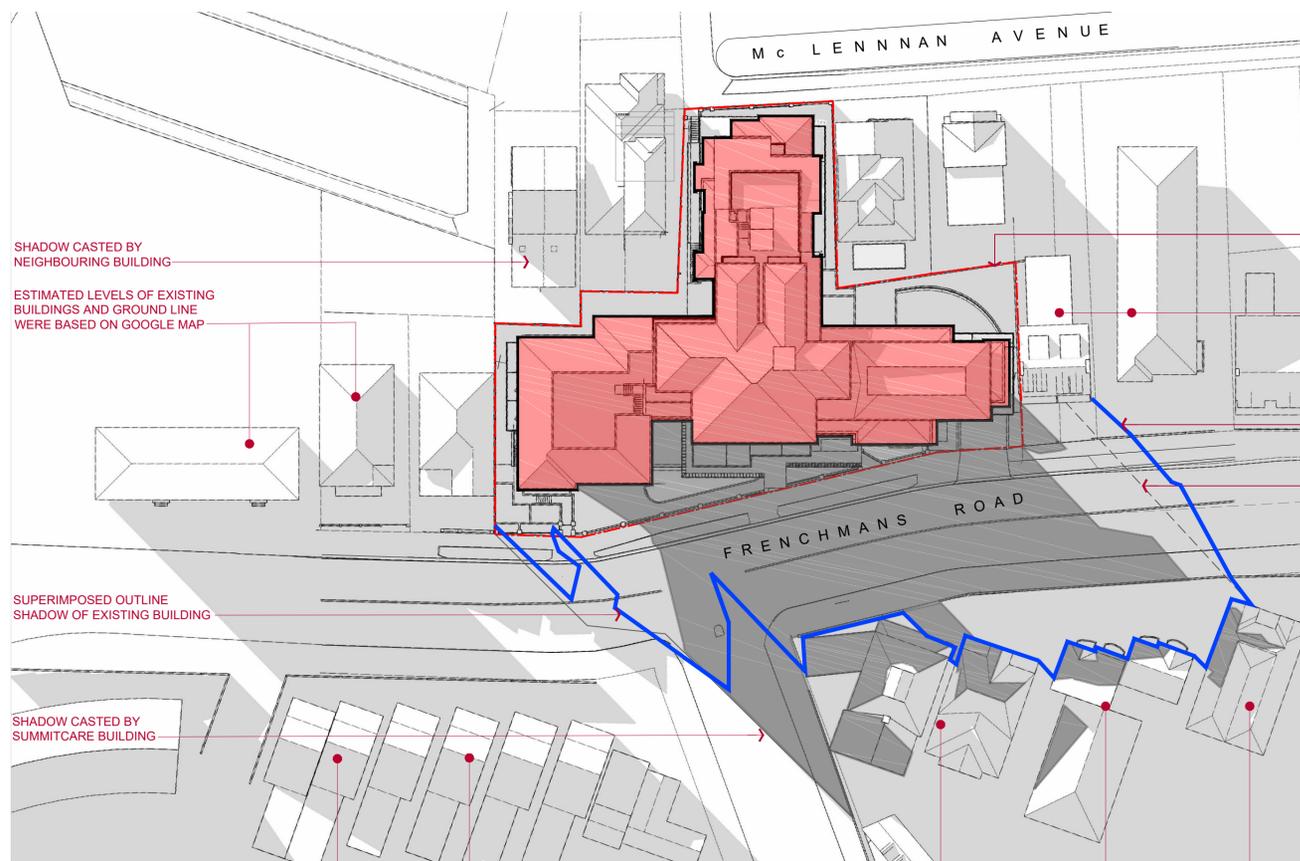
**SUMMITCARE**  
boffa robertson group  
architecture, health and aged care planning, project management

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Date	JAN 2019	Job No.	Drawing
Scale	1: 500	1912/ DA17a	
Drawn	VI	Amendment 1	



21 JUNE 4PM  
PROPOSED



21 JUNE 4PM  
EXISTING

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

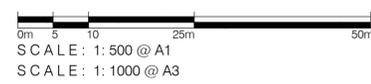
Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
**SHADOW DIAGRAMS**  
 Existing & Proposed- 21June 4pm

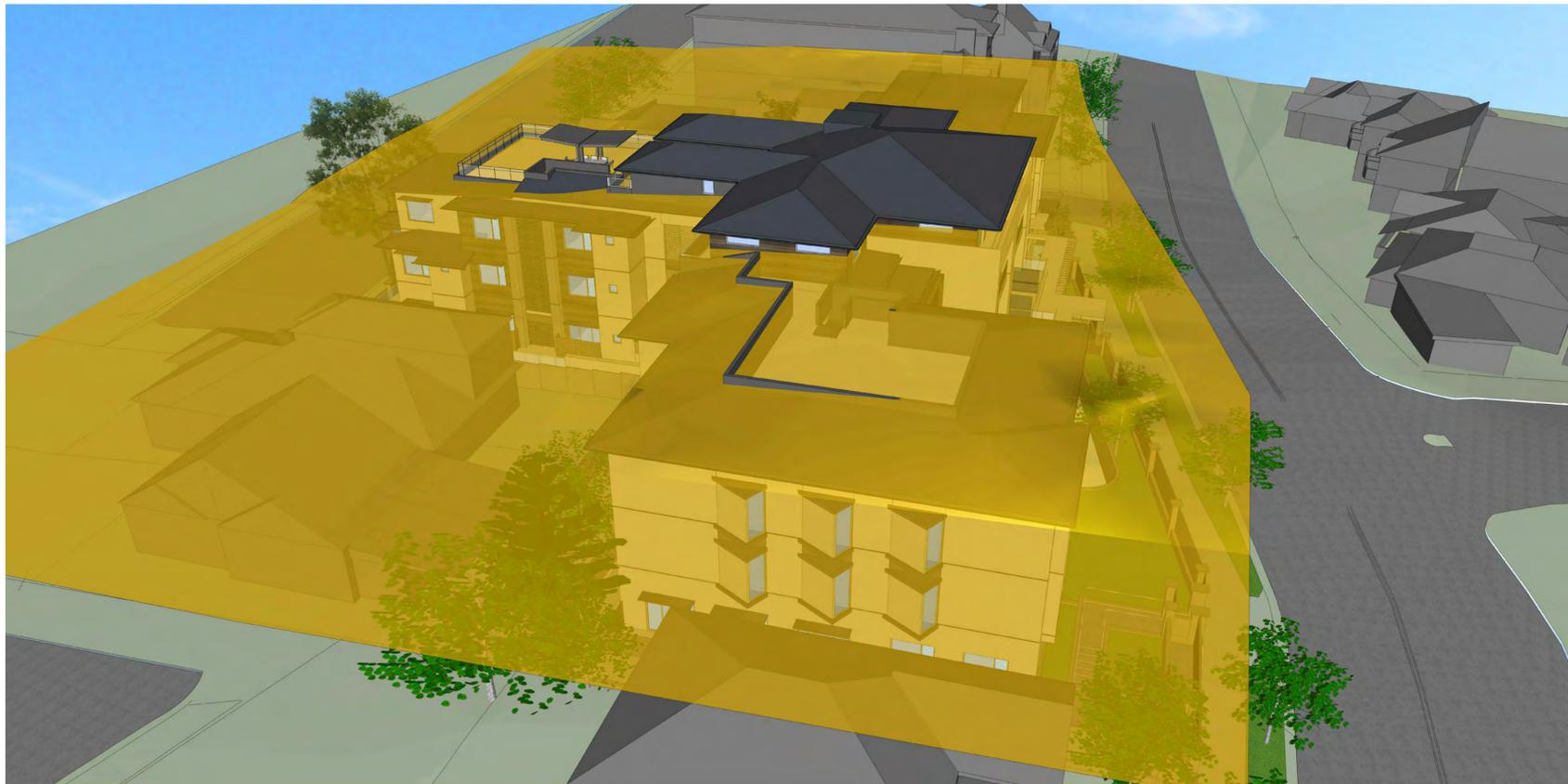
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**obr**  
**iqg**

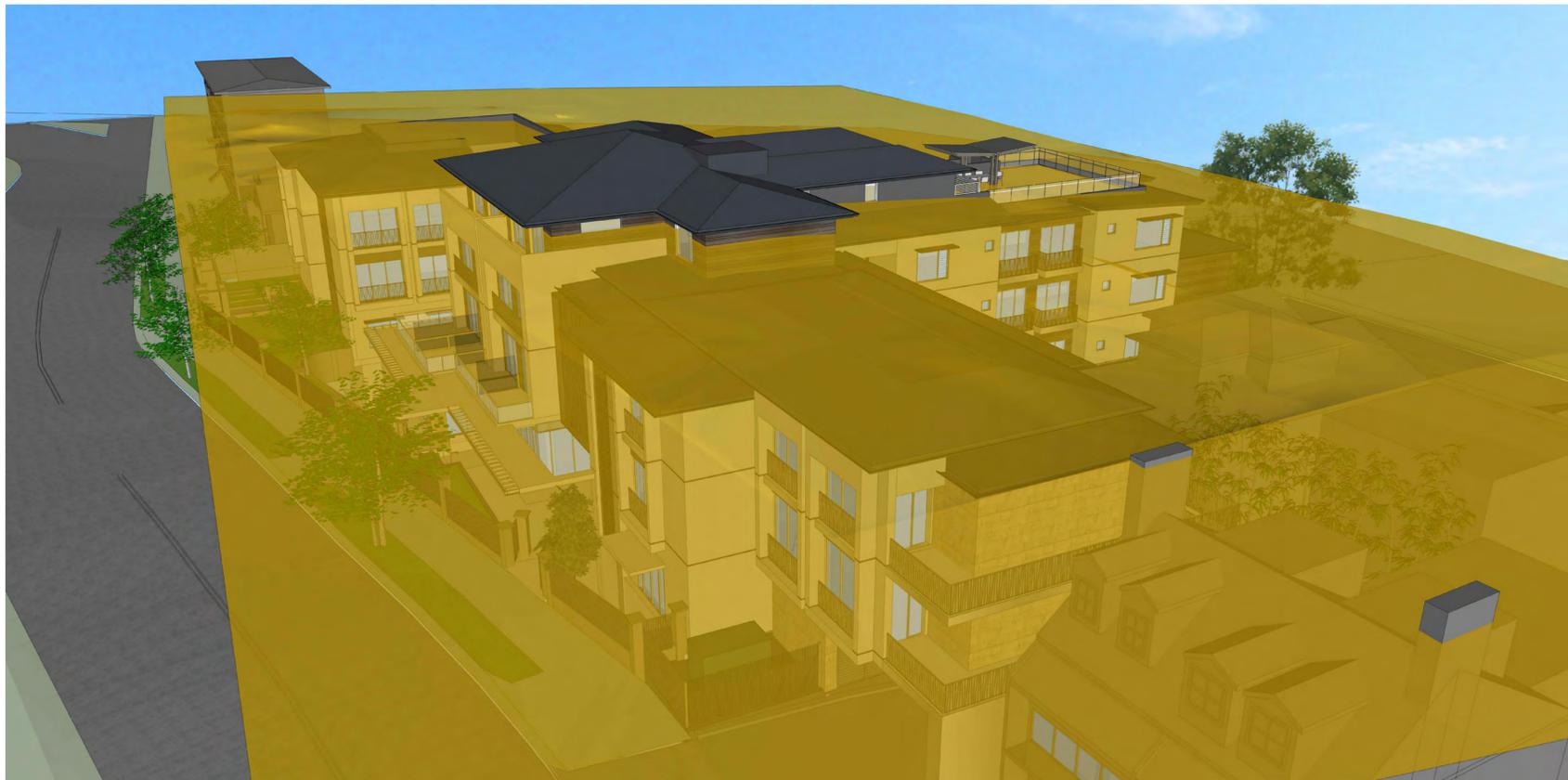
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Date	JAN 2019	Job No.	: Drawing
Scale	1:500		
Drawn	VI		1912/ DA18
Amendment	4		



WEST - 3D IMAGE



EAST - 3D IMAGE

The above graphics are showing the 3D model of the proposed development with the 12m height control represented by a yellow coloured plane. These images demonstrate the extent of built form that penetrates the height control

1	Preliminary DA Issue	30.09.2020
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK  
 Drawing  
 3D IMAGE Showing  
 built form penetrating 12m height

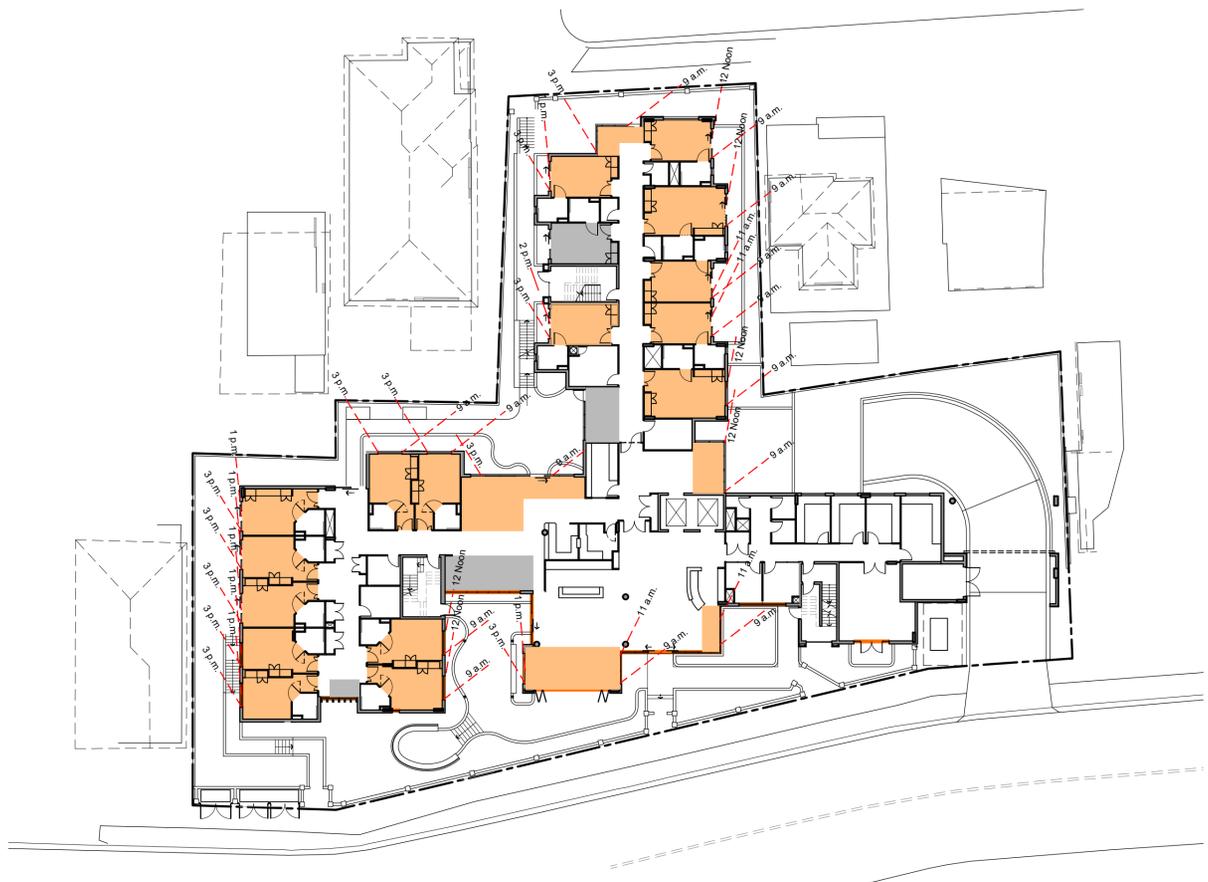
  
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 Email: brgroup@brgr.net

Date	JAN 2019	Job No.	: Drawing
Scale	1:500		
Drawn	SS	1912/	DA18a
Amendment	1		

**LEGEND**

	Rooms with SOLAR ACCESS between 9am to 3pm
	NO SOLAR ACCESS



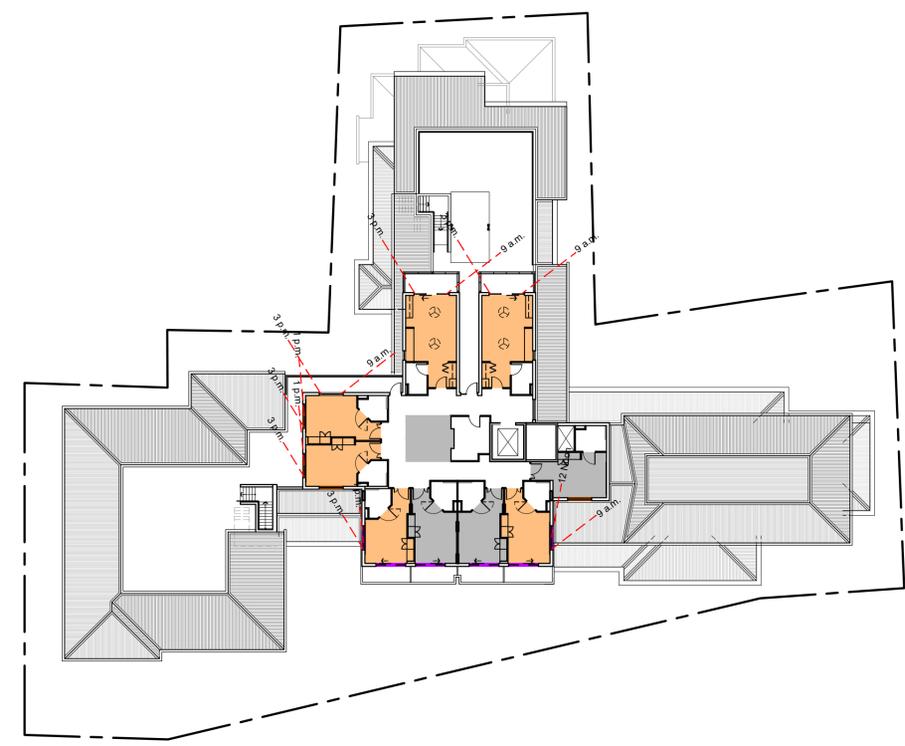
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



3	Preliminary DA Issue	30.09.2020
2	Development Application Issue	07.09.2020
1	Preliminary Issue	14.08.2020
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
 11-15, 17 & 19 Frenchmans Road, RANDWICK  
 Drawing  
**SOLAR ACCESS DIAGRAMS**



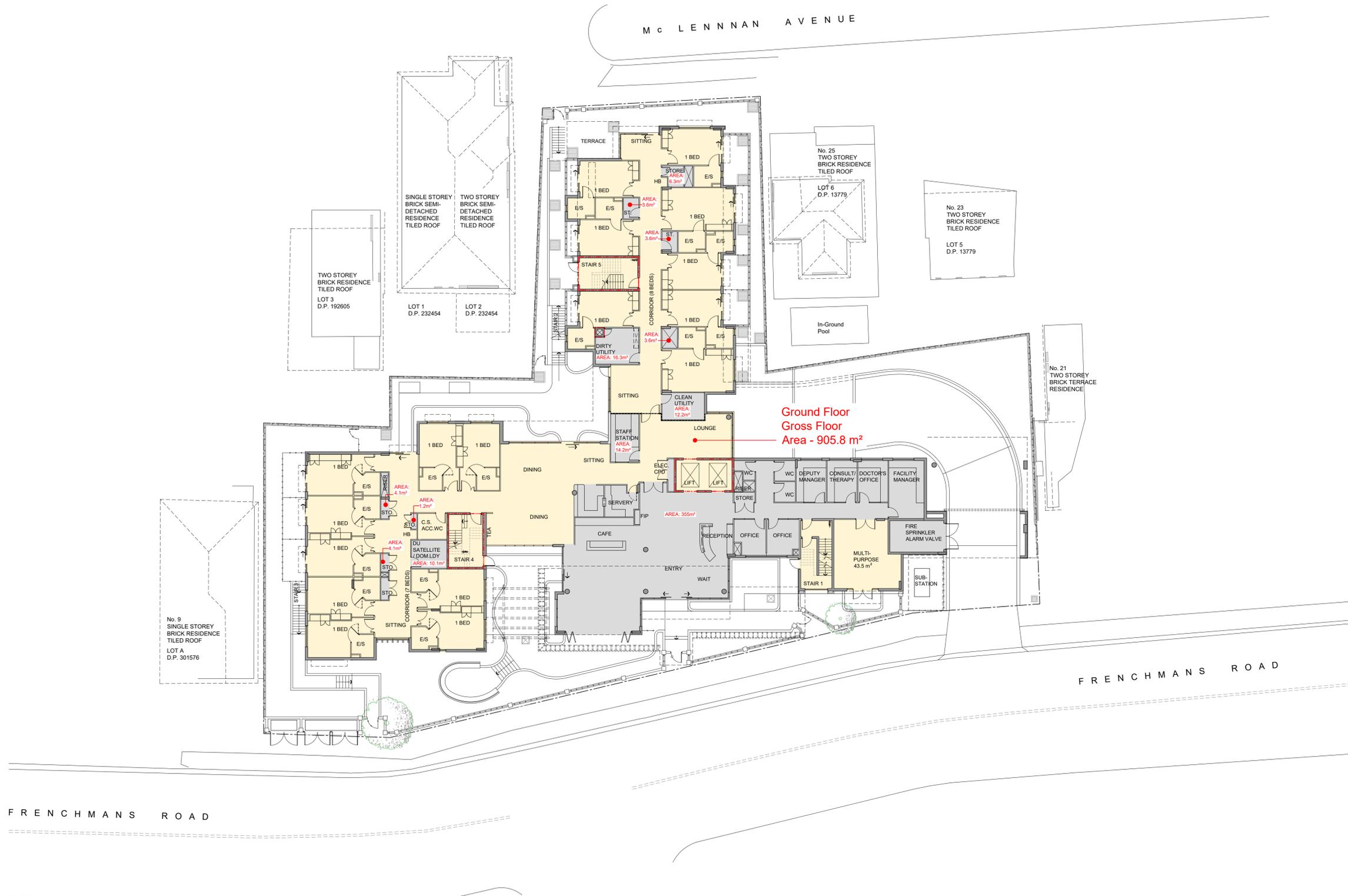
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**obr**  
 100g

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	Date: AUG 2020	Job No.: Drawing
	Scale: 1:300 @ A1	
	Drawn: AL	1912/ DA19
	Amendment: 3	

GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT FL.	-
BASEMENT FL.	-
GROUND FL.	905.8 m <sup>2</sup>
FIRST FL.	1,278.9 m <sup>2</sup>
SECOND FL.	1,231.0 m <sup>2</sup>
THIRD FL.	369.6 m <sup>2</sup>
TOTAL	3,785.2 m <sup>2</sup>



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020

No.	Amendment	Date
-----	-----------	------

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick

Drawing  
**GROSS FLOOR AREA DIAGRAM - GROUND FLOOR PLAN**



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0m 2 5 10 15m  
 SCALE: 1:200 @ A1  
 SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017/ DA20
Amendment	4		

GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT FL.	-
BASEMENT FL.	-
GROUND FL.	905.8 m <sup>2</sup>
FIRST FL.	1,278.9 m <sup>2</sup>
SECOND FL.	1,231.0 m <sup>2</sup>
THIRD FL.	369.6 m <sup>2</sup>
TOTAL	3,785.2 m <sup>2</sup>



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020

No.	Amendment	Date
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Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
FIRST FLOOR PLAN



**boffa robertson group**  
architecture, health and aged care planning, project management

**obr**  
199g

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Email: brgroup@brgr.net

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017/ DA21
Amendment	4		

GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT FL.	-
BASEMENT FL.	-
GROUND FL.	905.8 m <sup>2</sup>
FIRST FL.	1,278.9 m <sup>2</sup>
SECOND FL.	1,231.0 m <sup>2</sup>
THIRD FL.	369.6 m <sup>2</sup>
TOTAL	3,785.2 m <sup>2</sup>



EXCLUDED AREA GFA : 107.6m<sup>2</sup>

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020

No.	Amendment	Date
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Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
SECOND FLOOR PLAN



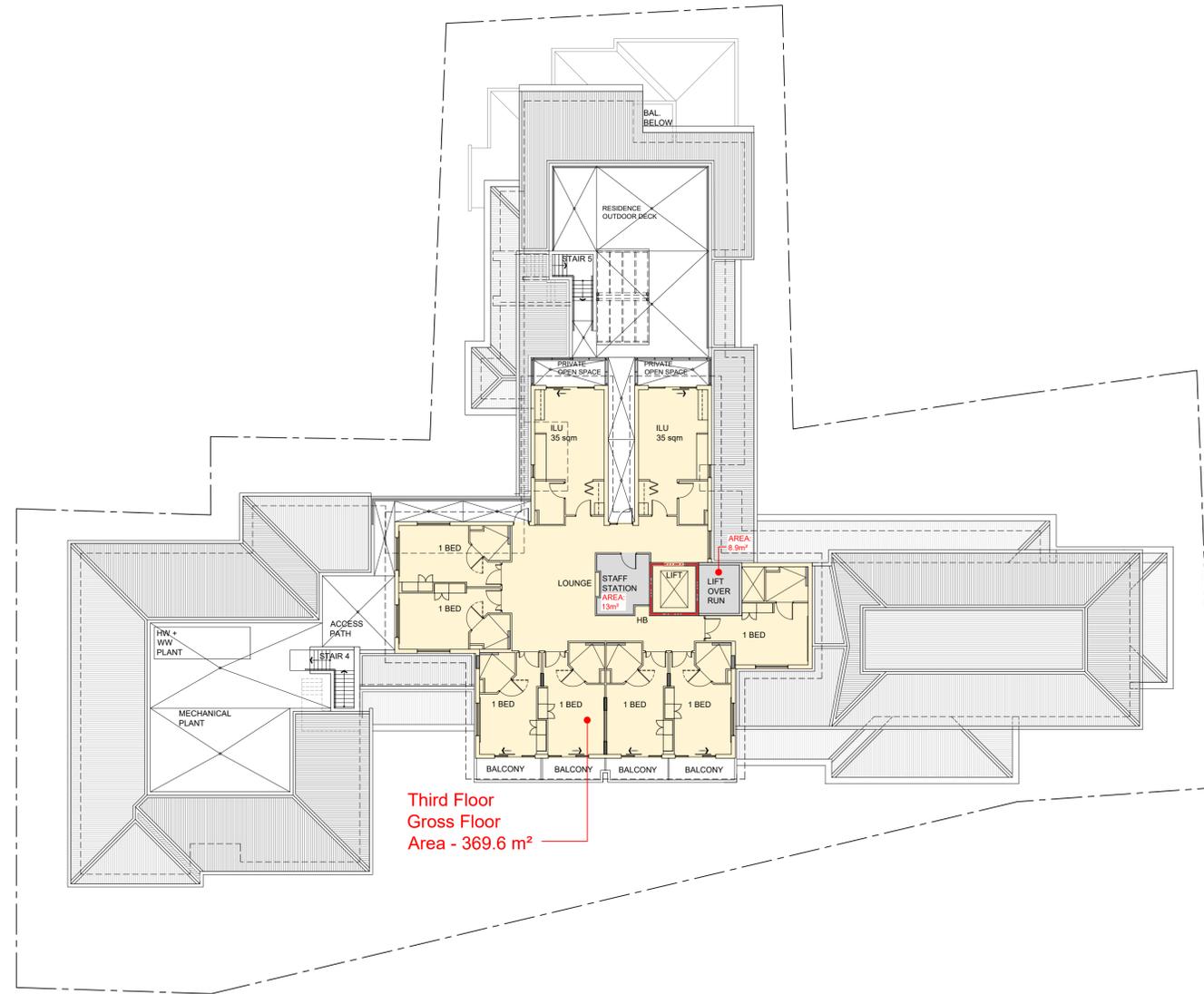
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Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017/ DA22
Amendment	4		

GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT FL.	-
BASEMENT FL.	-
GROUND FL.	905.8 m <sup>2</sup>
FIRST FL.	1,278.9 m <sup>2</sup>
SECOND FL.	1,231.0 m <sup>2</sup>
THIRD FL.	369.6 m <sup>2</sup>
TOTAL	3,785.2 m <sup>2</sup>



EXCLUDED AREA GFA : 21.3 m<sup>2</sup>

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
THIRD FLOOR PLAN



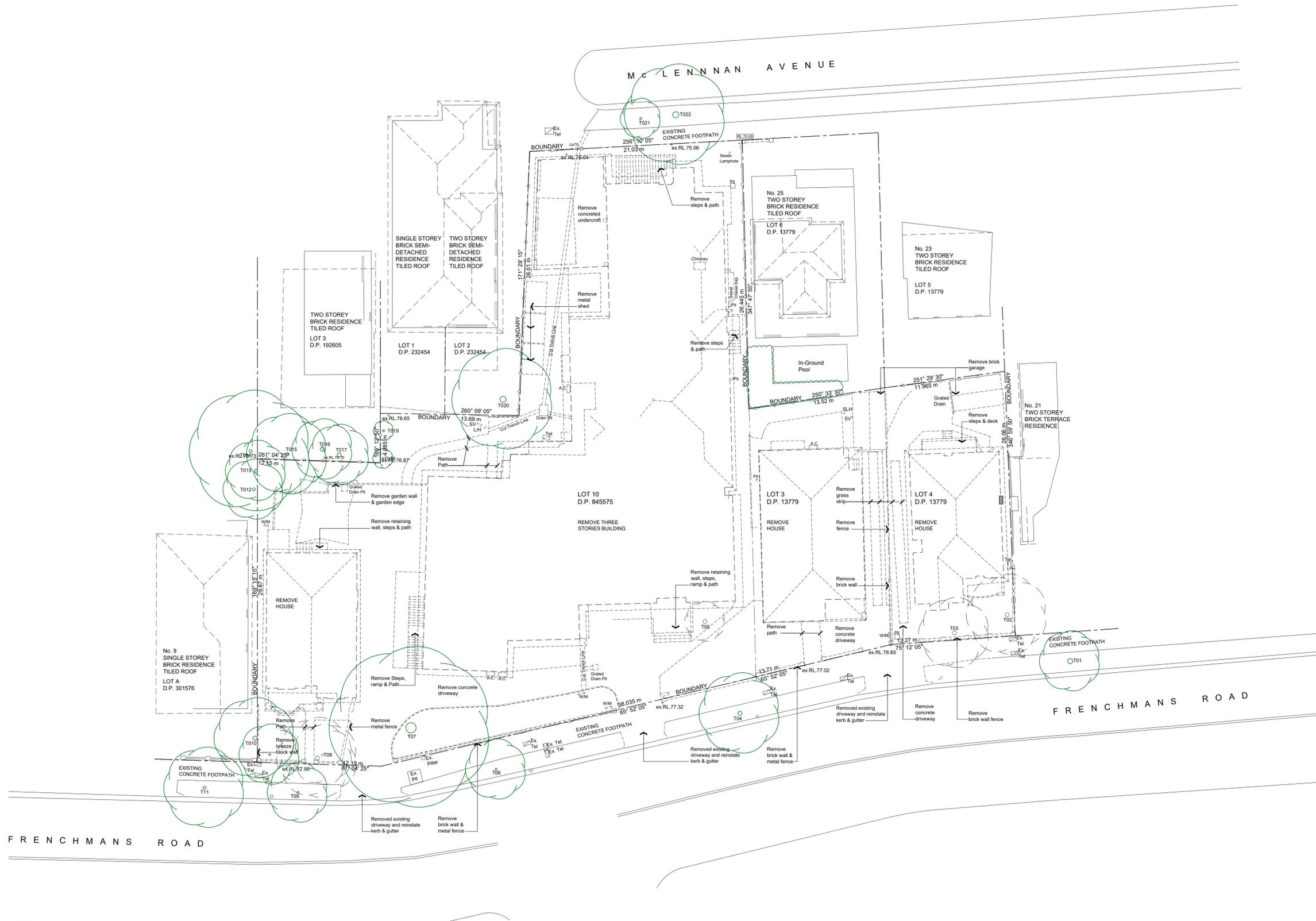
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0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	: Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA23
Amendment	4		

LEGEND	
---	BOUNDARY
- - - - -	EXISTING WALLS, DOORS, WINDOWS, FENCE, RETAINING WALL, SANITARY'S, DRIVEWAY, PATH, PIT, SERVICES TO BE REMOVED
- - - - -	EXISTING FENCE TO BE RETAINED
	EXISTING TREES TO REMAIN
	TREES TO BE REMOVED
+ ex.RL.0.0	EXISTING LEVELS
RL.00.00	PROPOSED LEVELS



5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	11.08.2020
1	Development application issue	19.12.19

No. Amendment Date

Project  
**SUMMIT CARE**  
 11-19 Frenchmans Road, Randwick  
 Drawing  
**DEMOLITION PLAN**



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0m 2 5 10 15m  
 SCALE: 1:200 @ A1  
 SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		1912/ DA24
Amendment	5		